



Shelby County Tennessee

Willie F. Brooks Jr

Shelby County Register

As evidenced by the instrument number shown below, this document has been recorded as a permanent record in the archives of the Office of the Shelby County Register.

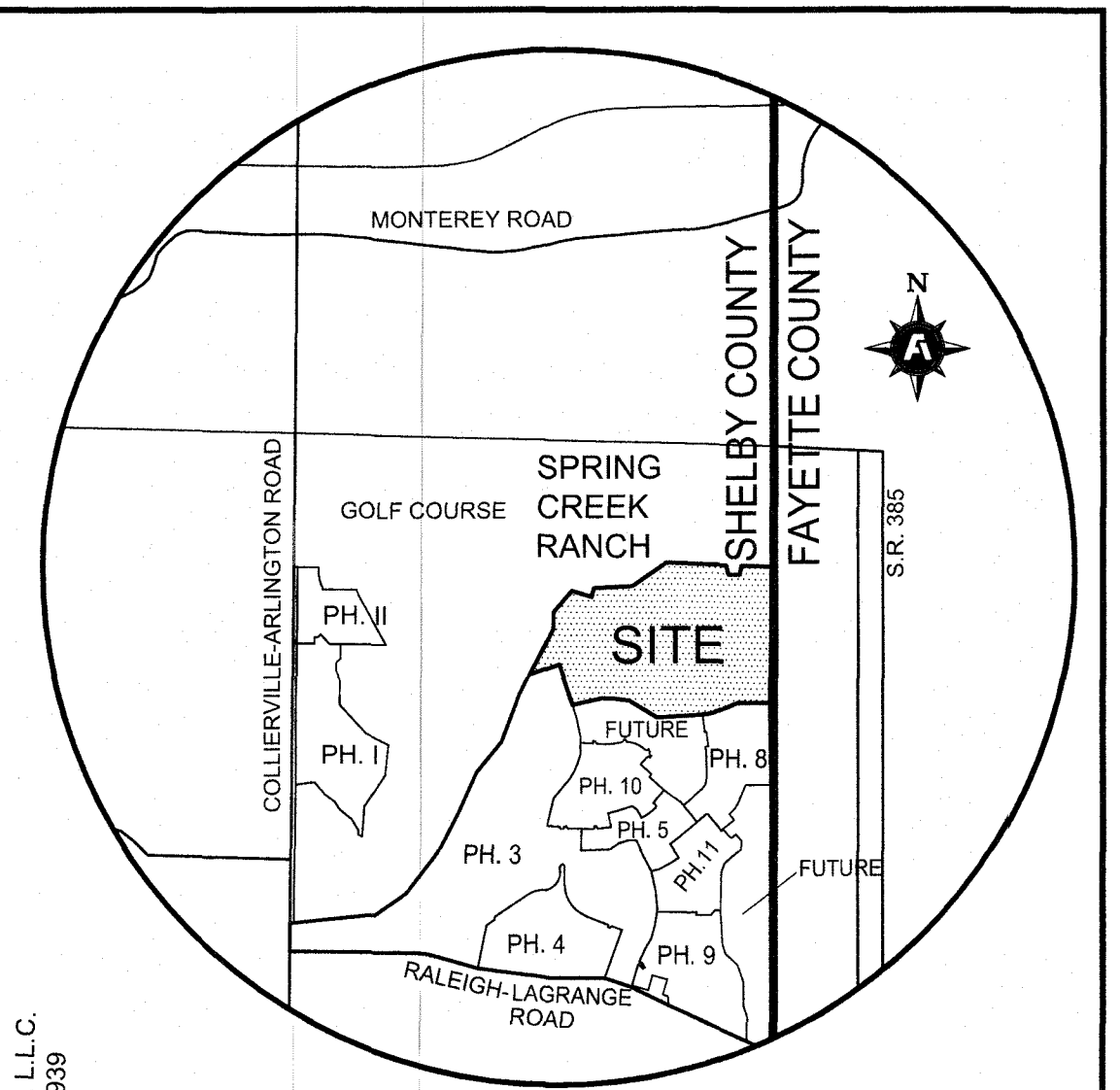
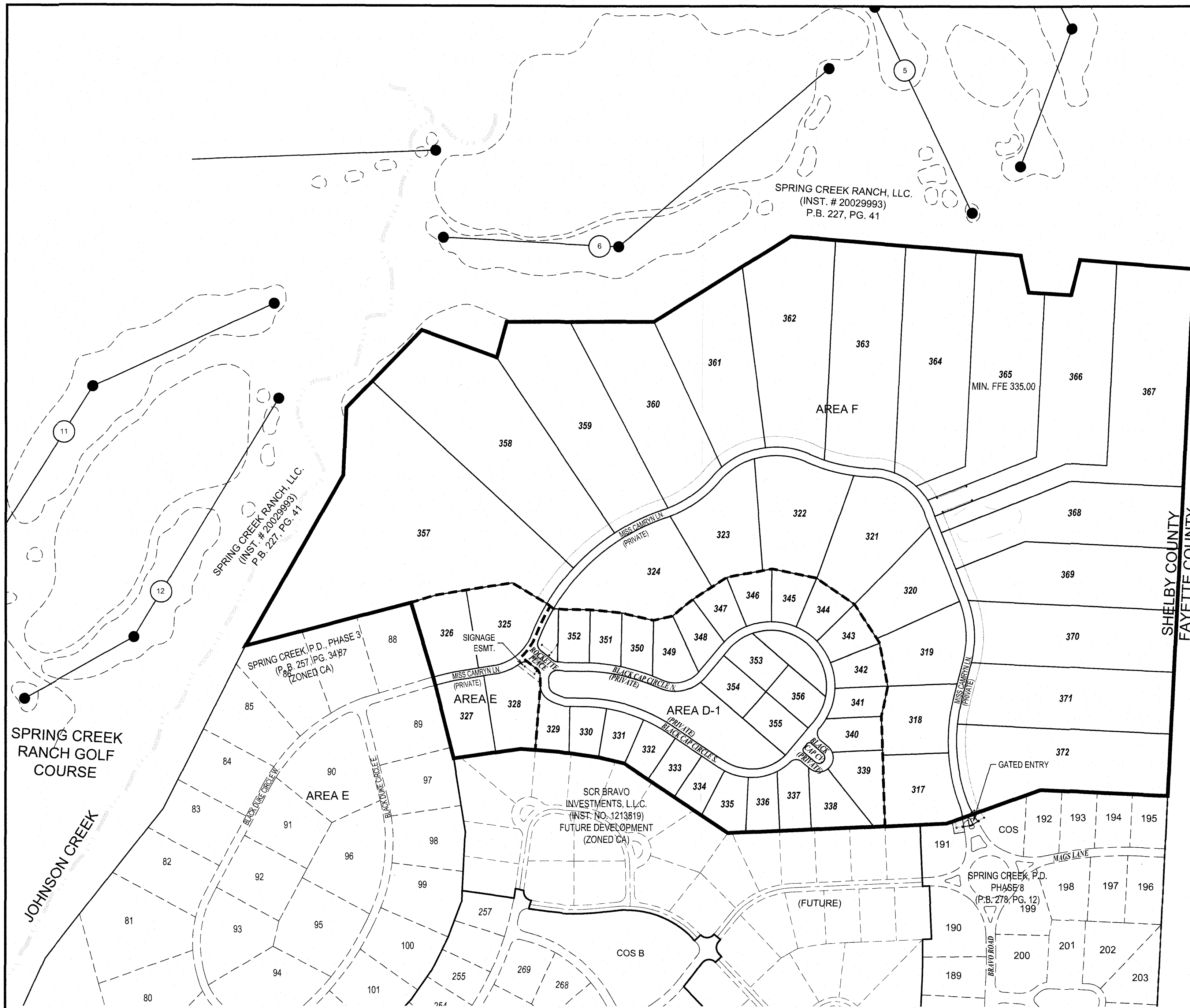


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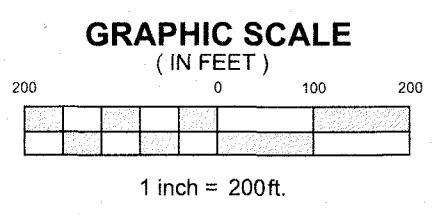
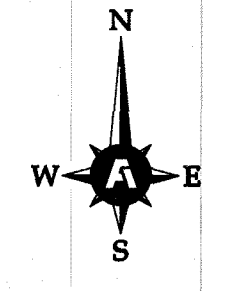
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6 PGS	
AVA 2697202 - 24036778	
VALUE	0.00
MORTGAGE TAX	0.00
TRANSFER TAX	0.00
RECORDING FEE	15.00
DP FEE	2.00
REGISTER'S FEE	0.00
TOTAL AMOUNT	17.00

WILLIE F. BROOKS JR
REGISTER OF DEEDS SHELBY COUNTY TENNESSEE



VICINITY MAP
(NOT TO SCALE)



SEE SHEETS 2 OF 6, 3 OF 6 AND 4 OF 6 FOR DETAILS

24036778-
05/06/2024 03:13:19 PM
BK 305 PG 13
Willie F. Brooks Jr
REGISTER OF DEEDS SHELBY COUNTY TENNESSEE

FINAL PLAT
SPRING CREEK RANCH
PLANNED DEVELOPMENT
PHASE 12

CASE# P.D. 13-314 CO FORMER CASE# P.D. 99-306 CO
AREA D-1, PART OF AREA E, AND AREA F
SHELBY COUNTY, TENNESSEE
MARCH 2024



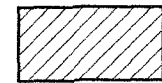
TOTAL AREA: 76.11 ACRES (3,315,333 S.F.)
TOTAL 56 LOTS, 4 C.O.S. & 5 PRIVATE DRIVES
DIST. 2 BLK. 23 PARCEL 28

PREPARED FOR:
SCR BRAVO INVESTMENTS, L.L.C.
5900 POPLAR AVE.
MEMPHIS, TN. 38119



9180 Crestwyn Hills Drive | Memphis, Tennessee 38125-8538
901.748.1811 | Fax: 901.748.3115 | www.fisherarnold.com

LEGEND

-  COMMON OPEN SPACE
-  PUBLIC DRAINAGE EASEMENT
-  PRIVATE DRAINAGE EASEMENT

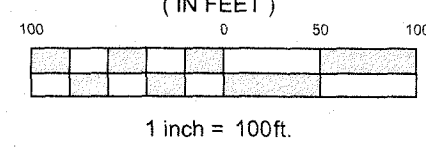
REAR PORTIONS OF LOTS 357-362 ARE WITHIN THE AUDUBON SOCIETY OF NEW YORK CONSERVATION EASEMENT AS PER INSTRUMENT NO. JA 4171. LOT OWNERS SHOULD REFER TO INSTRUMENT JA 4171 AND SUBSEQUENT AMENDMENTS AND/OR CONTACT THE AUDUBON SOCIETY TO DETERMINE WHAT RESTRICTIONS THERE ARE ON CONSTRUCTION OF BUILDINGS WITHIN THE SAID EASEMENT.

BUILDING SETBACK

LOTS 323-324	LOTS 329-356	LOT 358
FRONT.....40'	FRONT.....15'	FRONT.....80'
REAR.....30'	REAR.....20'	REAR.....40'
SIDE.....15'	SIDE.....5'	SIDE.....15'

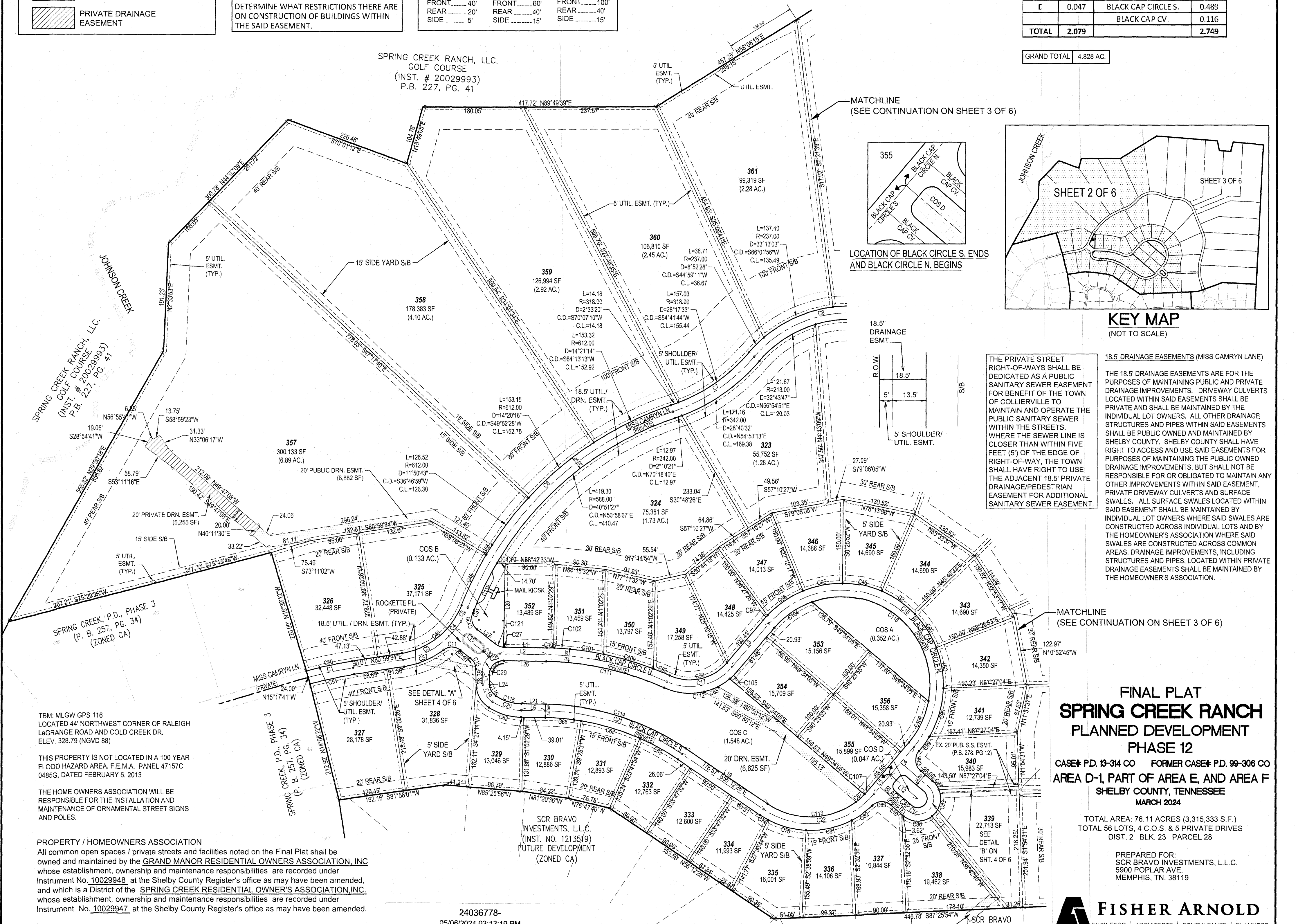
LOTS 325-328	LOT 357	LOTS 359-361
FRONT.....40'	FRONT.....60'	FRONT.....100'
REAR.....20'	REAR.....40'	REAR.....40'
SIDE.....5'	SIDE.....15'	SIDE.....15'

GRAPHIC SCALE
(IN FEET)

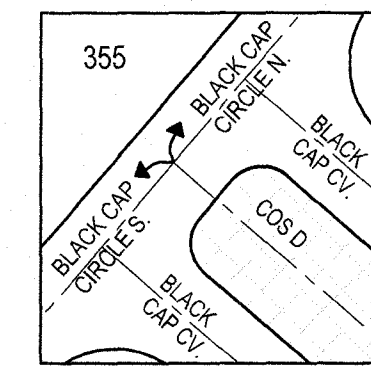


COMMON OPEN SPACE			
COS (AC.)	PRIVATE R.O.W. (AC.)		
A	0.352	MISS CAMRYN LANE	1.437
B	0.133	ROCKETTE PL.	0.068
C	1.548	BLACK CAP CIRCLE N.	0.638
	0.047	BLACK CAP CIRCLE S.	0.489
		BLACK CAP CV.	0.116
TOTAL	2.079		2.749

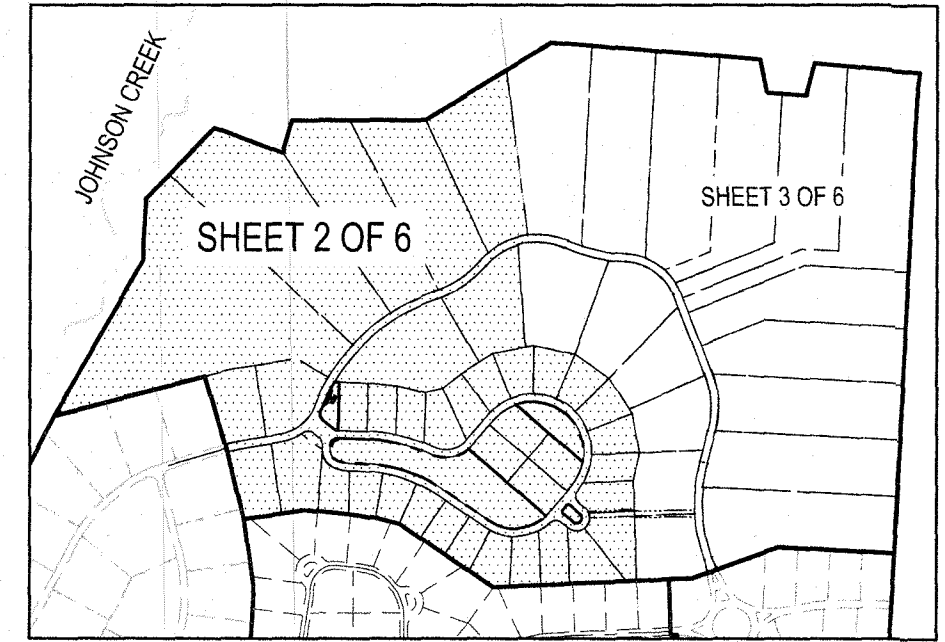
GRAND TOTAL 4.828 AC.



MATCHLINE
(SEE CONTINUATION ON SHEET 3 OF 6)



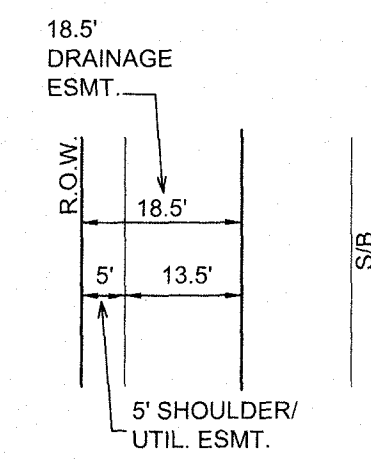
LOCATION OF BLACK CIRCLE S. ENDS AND BLACK CIRCLE N. BEGINS



KEY MAP
(NOT TO SCALE)

THE PRIVATE STREET RIGHT-OF-WAYS SHALL BE DEDICATED AS A PUBLIC SANITARY SEWER EASEMENT FOR BENEFIT OF THE TOWN OF COLLIERVILLE TO MAINTAIN AND OPERATE THE PUBLIC SANITARY SEWER WITHIN THE STREETS. WHERE THE SEWER LINE IS CLOSER THAN WITHIN FIVE FEET (5') OF THE EDGE OF RIGHT-OF-WAY, THE TOWN SHALL HAVE RIGHT TO USE THE ADJACENT 18.5' PRIVATE DRAINAGE/PEDESTRIAN EASEMENT FOR ADDITIONAL SANITARY SEWER EASEMENT.

18.5' DRAINAGE EASEMENTS (MISS CAMRYN LANE)
THE 18.5' DRAINAGE EASEMENTS ARE FOR THE PURPOSES OF MAINTAINING PUBLIC AND PRIVATE DRAINAGE IMPROVEMENTS. DRIVEWAY CULVERTS LOCATED WITHIN SAID EASEMENTS SHALL BE PRIVATE AND SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS. ALL OTHER DRAINAGE STRUCTURES AND PIPES WITHIN SAID EASEMENTS SHALL BE PUBLIC OWNED AND MAINTAINED BY SHELBY COUNTY. SHELBY COUNTY SHALL HAVE RIGHT TO ACCESS AND USE SAID EASEMENTS FOR PURPOSES OF MAINTAINING THE PUBLIC OWNED DRAINAGE IMPROVEMENTS, BUT SHALL NOT BE RESPONSIBLE FOR OR OBLIGATED TO MAINTAIN ANY OTHER IMPROVEMENTS WITHIN SAID EASEMENT. PRIVATE DRIVEWAY CULVERTS AND SURFACE SWALES. ALL SURFACE SWALES LOCATED WITHIN SAID EASEMENT SHALL BE MAINTAINED BY INDIVIDUAL LOT OWNERS WHERE SAID SWALES ARE CONSTRUCTED ACROSS INDIVIDUAL LOTS AND BY THE HOMEOWNER'S ASSOCIATION WHERE SAID SWALES ARE CONSTRUCTED ACROSS COMMON AREAS. DRAINAGE IMPROVEMENTS, INCLUDING STRUCTURES AND PIPES, LOCATED WITHIN PRIVATE DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.



MATCHLINE
(SEE CONTINUATION ON SHEET 3 OF 6)

FINAL PLAT
SPRING CREEK RANCH
PLANNED DEVELOPMENT
PHASE 12
CASE# P.D. 13-314 CO FORMER CASE# P.D. 99-306 CO
AREA D-1, PART OF AREA E, AND AREA F
SHELBY COUNTY, TENNESSEE
MARCH 2024

TOTAL AREA: 76.11 ACRES (3,315,333 S.F.)
TOTAL 56 LOTS, 4 C.O.S. & 5 PRIVATE DRIVES
DIST. 2 BLK. 23 PARCEL 28

PREPARED FOR:
SCR BRAVO INVESTMENTS, L.L.C.
5900 POPLAR AVE.
MEMPHIS, TN. 38119



9180 Crestwyn Hills Drive | Memphis, Tennessee 38125-9538
901.748.1811 | Fax: 901.748.3115 | www.fisherarnold.com

TBM: MLGW GPS 116
LOCATED 44' NORTHWEST CORNER OF RALEIGH
LaGRANGE ROAD AND COLD CREEK DR.
ELEV. 328.79 (NGVD 88)

THIS PROPERTY IS NOT LOCATED IN A 100 YEAR
FLOOD HAZARD AREA. F.E.M.A. PANEL 47157C
0485G, DATED FEBRUARY 6, 2013

THE HOME OWNERS ASSOCIATION WILL BE
RESPONSIBLE FOR THE INSTALLATION AND
MAINTENANCE OF ORNAMENTAL STREET SIGNS
AND POLES.

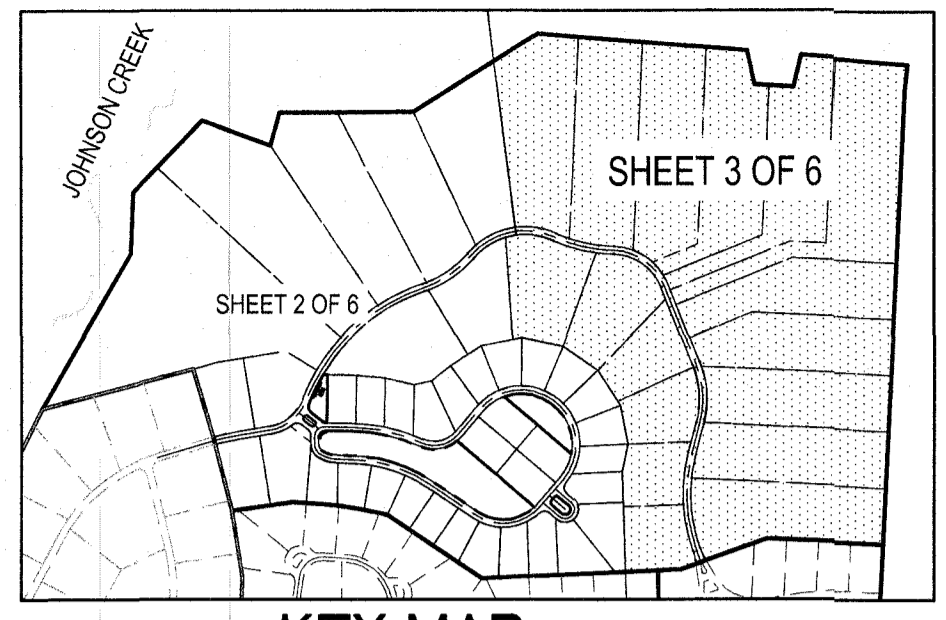
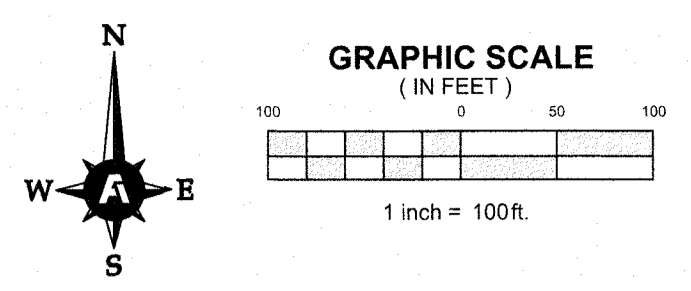
PROPERTY / HOMEOWNERS ASSOCIATION
All common open spaces / private streets and facilities noted on the Final Plat shall be owned and maintained by the GRAND MANOR RESIDENTIAL OWNERS ASSOCIATION, INC whose establishment, ownership and maintenance responsibilities are recorded under Instrument No. 10029948 at the Shelby County Register's office as may have been amended, and which is a District of the SPRING CREEK RESIDENTIAL OWNER'S ASSOCIATION, INC. whose establishment, ownership and maintenance responsibilities are recorded under Instrument No. 10029947 at the Shelby County Register's office as may have been amended.

SEE SHEET 3 OF 6 FOR CONTINUATION
SEE SHEET 4 OF 6 FOR LINE & CURVE TABLES

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05/06/2024 03:13:19 PM
BK 305 PG 13
Willie F. Brooks Jr
REGISTER OF DEEDS SHELBY COUNTY TENNESSEE

SPRING CREEK RANCH, LLC.
GOLF COURSE
(INST. # 20029993)
P.B. 227, PG. 41

SEE SHEET 2 OF 6 FOR CONTINUATION
SEE SHEET 4 OF 6 FOR LINE & CURVE TABLES



KEY MAP (NOT TO SCALE)

NOTES:

NO CONSTRUCTION PERMITS FOR IMPROVEMENTS WITHIN THIS PLANNED DEVELOPMENT SHALL BE ISSUED UNTIL VERIFICATION IS PROVIDED THAT THE DEVELOPER HAS INSTALLED OR HAS PAID TO INSTALL THE NECESSARY MUNICIPAL SERVICES OR UTILITIES.

THE TOWN OF COLLIERVILLE SHALL HAVE THE RIGHT TO ENTER PROPERTY FOR THE PURPOSE TO MAINTAIN THE SANITARY SEWER SYSTEM.

THE RIGHT-OF-WAY OF ALL PUBLIC AND PRIVATE STREETS AND COMMON OPEN SPACES WHICH HAVE PUBLIC SANITARY SEWER SHALL BE A PUBLIC SANITARY SEWER EASEMENT FOR THE TOWN OF COLLIERVILLE.

WHEN THE SANITARY SEWER SYSTEM LIES WITHIN PUBLIC OR PRIVATE STREETS, THE TOWN OF COLLIERVILLE ONLY HAS THE RESPONSIBILITY TO REPAIR THE STREET WITH THE TOWN OF COLLIERVILLE'S STANDARD ASPHALT SECTION AND DOES NOT HAVE THE RESPONSIBILITY TO REPLACE ANY DECORATIVE PAVEMENT; THIS SHALL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION.

WHEN THE SANITARY SEWER SYSTEM LIES WITHIN COMMON OPEN SPACE (C.O.S) AND ANY AREA OUTSIDE OF THE PUBLIC AND PRIVATE STREETS, THE TOWN OF COLLIERVILLE ONLY HAS THE RESPONSIBILITY TO REPLACE THE DISTURBED AREA WITH SOD AND DOES NOT HAVE THE RESPONSIBILITY TO REMOVE, RELOCATE OR REPLACE ANY AMENITIES (I.E. LANDSCAPING, FENCES, GAZEBO'S, ETC) WITHIN THESE AREAS; THIS SHALL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION.

TOWN OF COLLIERVILLE SHALL MAINTAIN THE SANITARY SEWER SYSTEM LOCATED WITHIN ALL PRIVATE STREETS.

THERE IS A 5' UTILITY EASEMENT ALONG ALL FRONT, SIDE & REAR LOT LINES. (UNLESS INDICATED OTHERWISE GRAPHICALLY ON THE PLAT.)

ALL STREETS ARE PRIVATE.

THE MINIMUM FRONT YARD BUILDING SETBACK FOR LOTS 365-367 IS PROVIDED IN ACCORDANCE WITH UDC SUB-SECTION 3.3.1.G (FLAG LOTS).

REAR PORTIONS OF LOTS 357-362 ARE WITHIN THE AUDUBON SOCIETY OF NEW YORK CONSERVATION EASEMENT AS PER INSTRUMENT NO. JA 4171. LOT OWNERS SHOULD REFER TO INSTRUMENT JA 4171 AND SUBSEQUENT AMENDMENTS AND/OR CONTACT THE AUDUBON SOCIETY TO DETERMINE WHAT RESTRICTIONS THERE ARE ON CONSTRUCTION OF BUILDINGS WITHIN THE SAID EASEMENT.

FINAL PLAT
SPRING CREEK RANCH
PLANNED DEVELOPMENT
PHASE 12

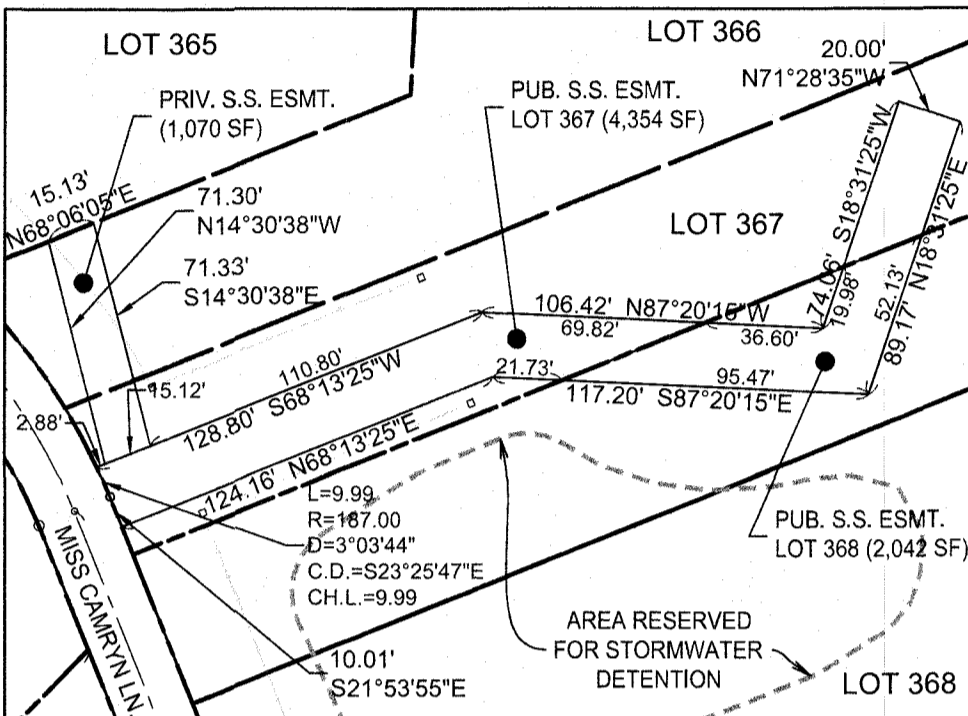
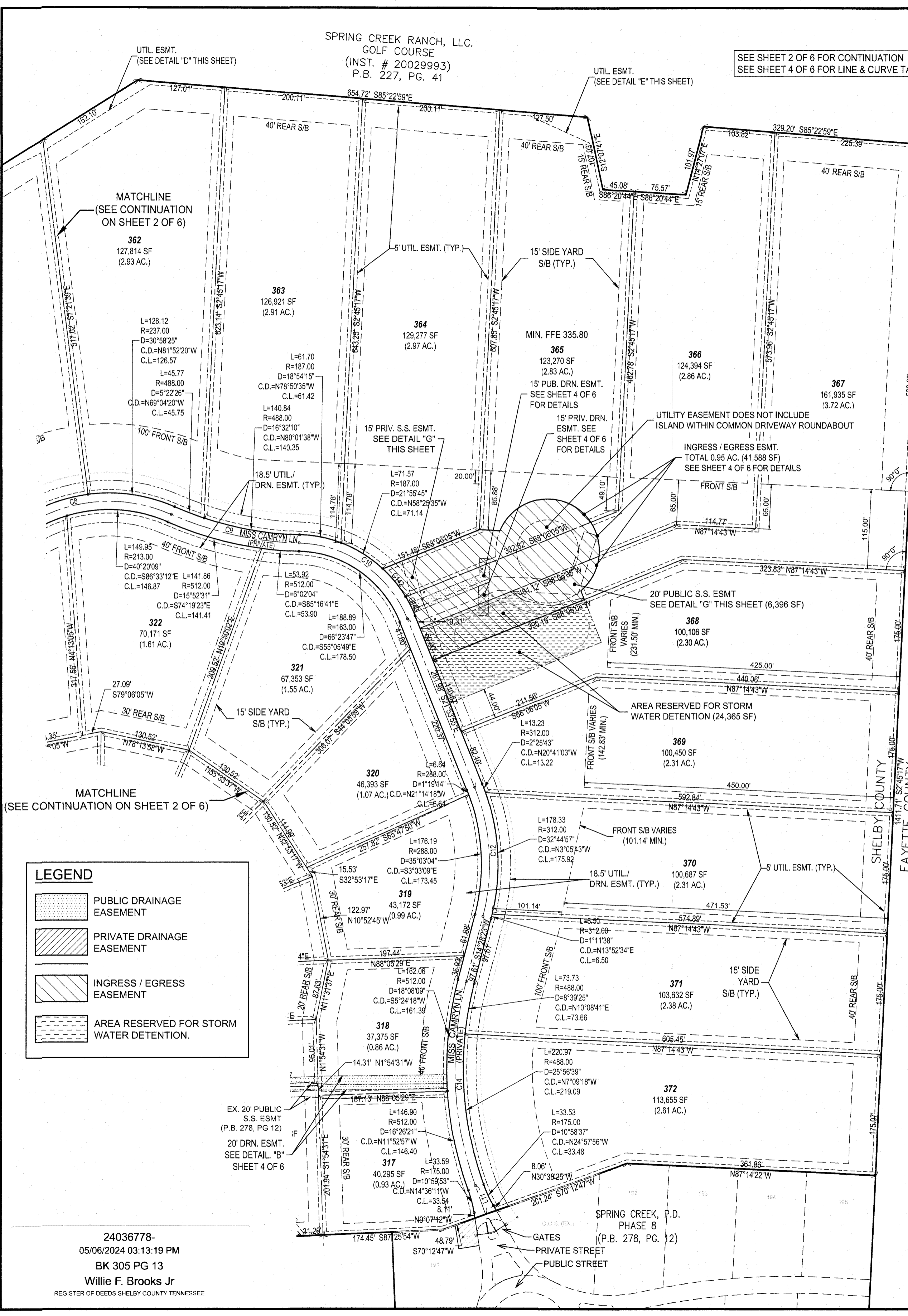
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SHELBY COUNTY, TENNESSEE
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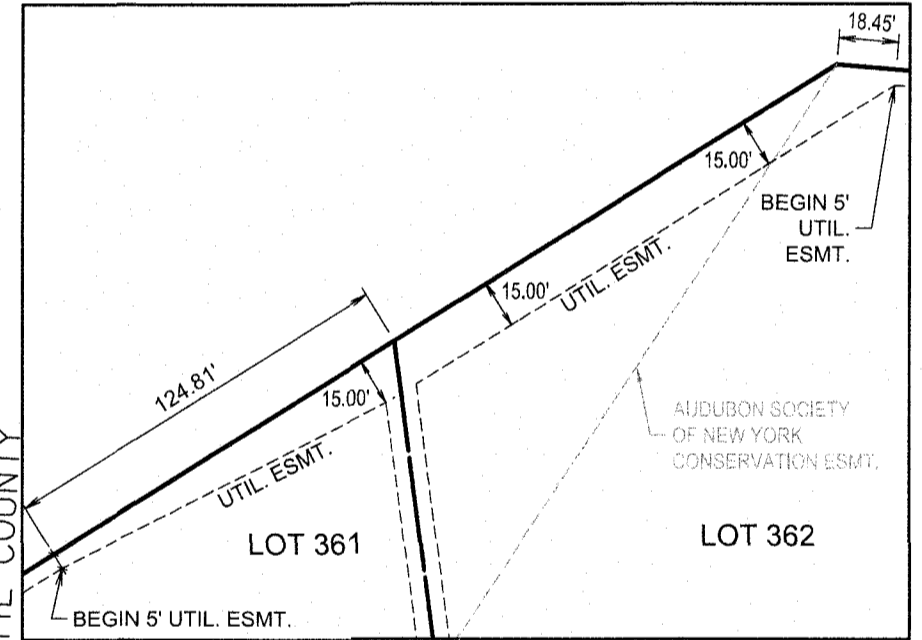
PREPARED FOR:
SCR BRAVO INVESTMENTS, L.L.C.
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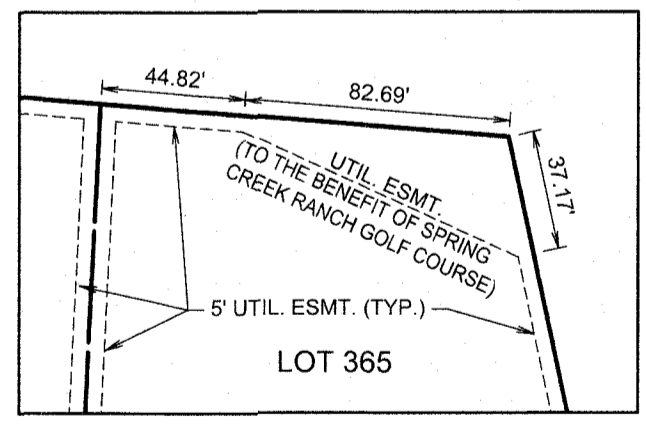
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901.748.1811 | Fax: 901.748.3115 | www.fisherarnold.com



DETAIL "G"
SCALE 1" = 60'



DETAIL "D"
SCALE 1" = 60'



DETAIL "E"
SCALE 1" = 60'

BUILDING SETBACK

LOTS 317-322
FRONT.....40'
REAR.....30'
SIDE.....15'
LOTS 362, 371, 372
FRONT.....100'
REAR.....40'
SIDE.....15'
LOTS 363-370
FRONT.....VARIES (SEE PLAT)
REAR.....40'
SIDE.....15'

LEGEND

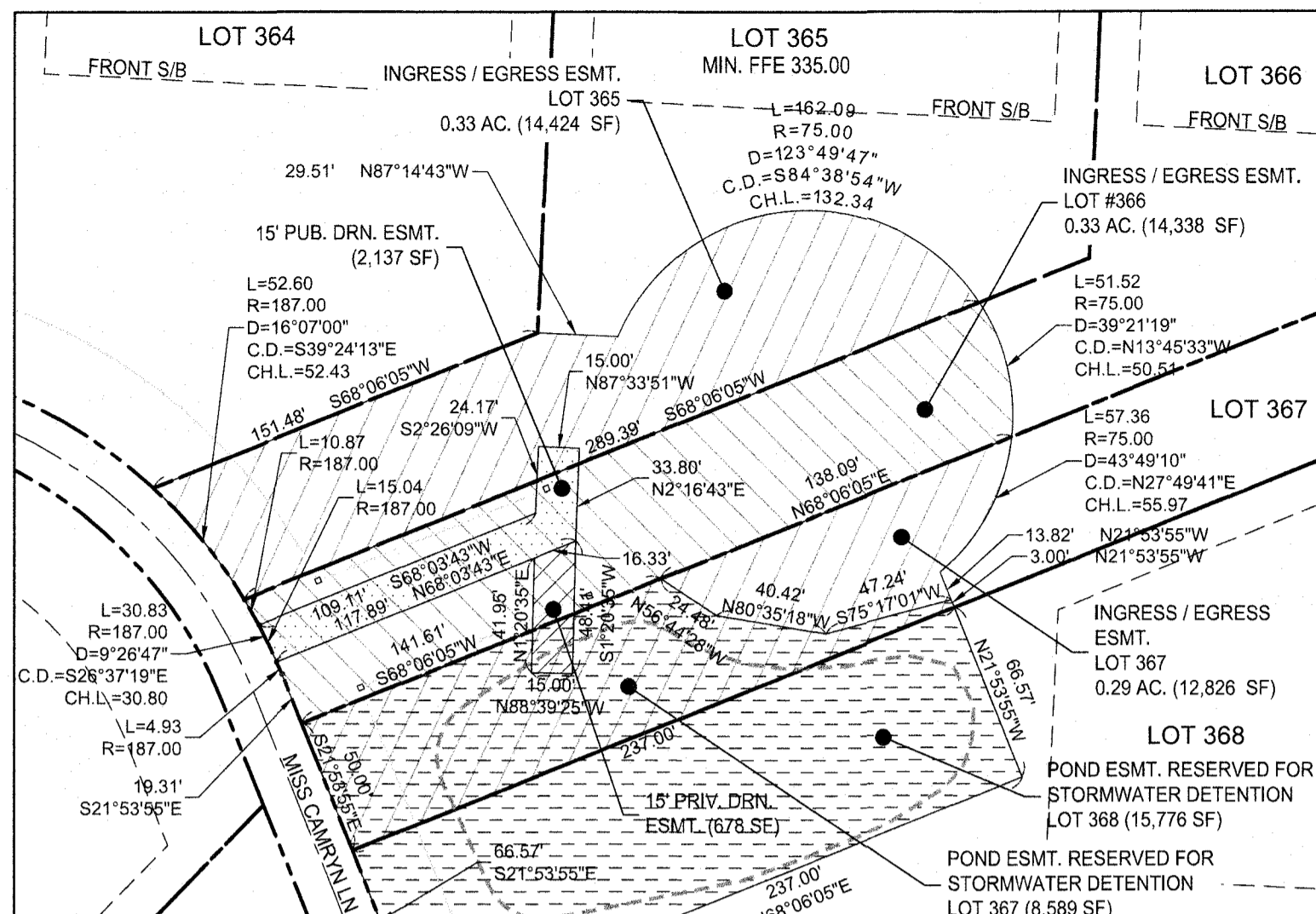
	PUBLIC DRAINAGE EASEMENT
	PRIVATE DRAINAGE EASEMENT
	INGRESS / EGRESS EASEMENT
	AREA RESERVED FOR STORM WATER DETENTION.

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BK 305 PG 13
Willie F. Brooks Jr
REGISTER OF DEEDS SHELBY COUNTY TENNESSEE

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	82.30'	750.00'	6°17'15"	N77°50'57"E	82.26'
C2	72.02'	182.00'	22°40'21"	N55°33'37"W	71.55'
C3	94.51'	150.00'	36°05'58"	N62°56'35"E	92.95'
C4	34.07'	150.00'	13°00'54"	N38°23'09"E	34.00'
C5	27.45'	150.00'	10°29'02"	N26°38'11"E	27.41'
C6	523.63'	600.00'	50°00'10"	N46°23'45"E	507.17'
C7	177.67'	330.00'	30°50'53"	N55°58'24"E	175.53'
C8	286.93'	225.00'	73°03'55"	N77°04'55"E	267.88'
C9	191.20'	500.00'	21°54'35"	S77°20'25"E	190.04'
C10	202.80'	175.00'	66°23'47"	S55°05'49"E	191.64'
C11	32.64'	25.00'	74°48'34"	N89°01'08"W	30.37'
C12	190.44'	300.00'	36°22'18"	S3°42'46"E	187.26'
C14	298.98'	500.00'	34°15'36"	S2°39'25"E	294.54'
C15	21.83'	200.00'	50°01'15"	S26°36'13"E	21.14'
C16	223.02'	555.00'	23°01'25"	S77°26'48"E	221.52'
C17	128.51'	100.00'	73°37'59"	N77°14'54"E	119.85'
C18	534.07'	170.00'	180°00'00"	S49°34'05"E	340.00'
C19	36.25'	37.00'	56°07'42"	S29°39'27"E	34.81'
C20	54.52'	100.00'	31°14'13"	S73°20'24"E	53.85'
C21	260.08'	455.00'	32°45'03"	S72°34'59"E	256.56'
C22	218.24'	150.00'	83°21'37"	N82°06'44"E	199.49'
C27	16.29'	25.00'	37°20'40"	S70°17'11"E	16.01'
C28	20.28'	30.00'	38°43'28"	S71°40'46"W	19.89'
C29	28.23'	30.00'	53°54'37"	S25°21'43"W	27.20'
C30	12.34'	50.00'	14°08'40"	N44°32'31"W	12.31'
C31	5.09'	162.00'	1°48'03"	S22°17'41"W	5.09'
C33	52.31'	40.50'	73°59'58"	N14°17'21"E	48.75'
C45	72.02'	182.00'	22°40'21"	S78°13'58"E	71.55'
C48	101.11'	612.00'	9°27'58"	S26°07'39"W	101.00'
C49	143.55'	138.00'	59°35'54"	S51°11'37"W	137.16'
C50	83.62'	762.00'	6°17'15"	S77°50'57"W	83.58'
C51	80.99'	738.00'	6°17'15"	N77°50'57"E	80.95'
C55	20.00'	612.00'	1°52'22"	N31°47'48"E	20.00'
C57	77.52'	182.00'	27°24'59"	N67°17'05"E	76.78'
C62	61.06'	112.00'	31°14'13"	S73°20'24"E	60.31'
C65	26.45'	112.00'	13°32'00"	S69°53'43"W	26.39'
C66	65.21'	442.00'	8°27'10"	S84°44'30"E	65.15'
C67	20.26'	138.00'	8°24'49"	N49°23'09"E	20.25'
C68	109.97'	443.00'	14°13'23"	S73°24'48"E	109.69'
C69	78.05'	443.00'	10°05'39"	S61°15'17"E	77.94'

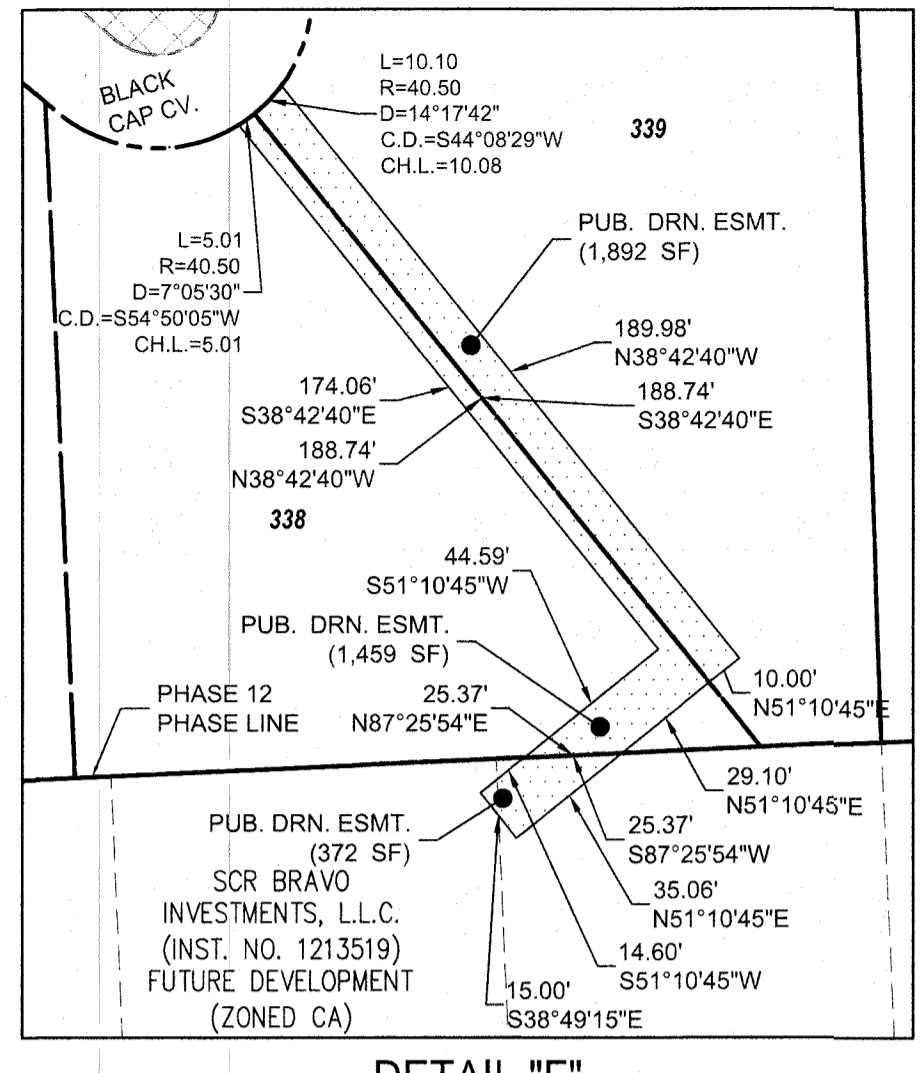
Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C74	17.47'	162.00'	6°10'48"	S59°17'52"E	17.47'
C78	70.58'	162.00'	24°57'45"	S74°52'08"E	70.02'
C81	84.44'	162.00'	29°51'47"	N77°43'06"E	83.48'
C82	45.27'	162.00'	16°00'41"	N54°46'52"E	45.12'
C83	36.50'	25.00'	83°39'23"	N88°36'13"E	33.34'
C86	55.94'	40.50'	79°08'35"	S89°08'23"E	51.60'
C87	18.98'	40.50'	26°51'27"	N36°08'22"W	18.81'
C88	39.17'	25.00'	89°46'18"	N4°40'56"W	35.28'
C89	31.64'	182.00'	9°57'40"	N35°13'23"E	31.60'
C90	90.58'	182.00'	28°30'58"	N15°59'04"E	89.65'
C91	73.94'	182.00'	23°16'42"	N9°54'46"W	73.44'
C92	72.02'	182.00'	22°40'21"	N32°53'17"W	71.55'
C95	72.04'	182.00'	22°40'42"	S79°05'31"W	71.57'
C96	77.89'	182.00'	24°31'15"	S55°29'32"W	77.30'
C97	8.89'	182.00'	2°47'59"	S41°49'54"W	8.89'
C98	113.09'	88.00'	73°37'59"	S77°14'54"W	105.47'
C99	30.87'	567.00'	3°07'12"	N67°29'42"W	30.87'
C100	93.35'	599.62'	8°55'12"	N73°46'19"W	93.26'
C101	61.41'	523.65'	6°43'09"	N81°35'30"W	61.37'
C102	29.17'	862.93'	1°56'12"	N86°10'04"W	29.17'
C103	13.03'	320.74'	2°19'40"	N88°18'01"W	13.03'
C104	82.80'	158.00'	30°01'40"	N55°26'45"E	81.86'
C105	18.61'	112.00'	9°31'05"	N45°11'27"E	18.58'
C106	82.80'	158.00'	30°01'40"	S25°26'05"W	81.86'
C107	11.43'	138.00'	4°44'49"	S42°48'19"W	11.43'
C111	218.20'	543.00'	23°01'25"	S77°26'48"E	216.73'
C112	125.33'	112.00'	64°06'54"	N82°00'27"E	118.89'
C113	189.34'	138.00'	78°36'48"	S84°29'08"W	174.84'
C114	266.94'	467.00'	32°45'03"	N72°34'59"W	263.32'
C115	47.98'	88.00'	31°14'13"	N73°20'24"W	47.38'
C116	24.49'	25.00'	56°07'42"	N29°39'27"W	23.52'
C117	40.42'	25.00'	92°38'05"	N44°43'27"E	36.16'
C119	93.86'	588.00'	9°08'44"	S25°50'02"W	93.76'
C120	32.64'	25.00'	74°48'34"	S14°12'34"E	30.37'
C121	15.21'	25.00'	34°51'56"	S89°02'49"E	14.98'
C123	15.71'	10.00'	90°00'00"	N85°25'55"E	14.14'
C125	51.84'	16.50'	180°00'01"	S40°25'54"W	33.00'
C127	15.71'	10.00'	90°00'00"	N4°34'05"W	14.14'

Parcel Line Table		
Line #	Length	Direction
L1	75.89'	N88°57'31"W
L2	83.94'	S88°57'31"E
L3	102.41'	N40°25'55"E
L4	64.68'	S40°25'55"W
L5	44.84'	N40°25'55"E
L6	43.17'	S88°57'31"E
L7	24.21'	S1°35'36"E
L10	25.53'	S49°34'05"E
L11	44.19'	S19°47'13"E
L12	65.00'	S49°34'05"E
L15	64.49'	N51°36'51"W
L19	176.57'	N56°12'28"W
L21	43.17'	N88°57'31"W
L24	16.88'	N1°35'36"W
L26	76.61'	S88°57'31"E
L27	42.75'	S51°36'51"E
L28	150.04'	N1°02'29"E
L29	13.00'	N40°25'55"E
L30	40.50'	S49°34'05"E
L31	40.50'	N49°34'05"W



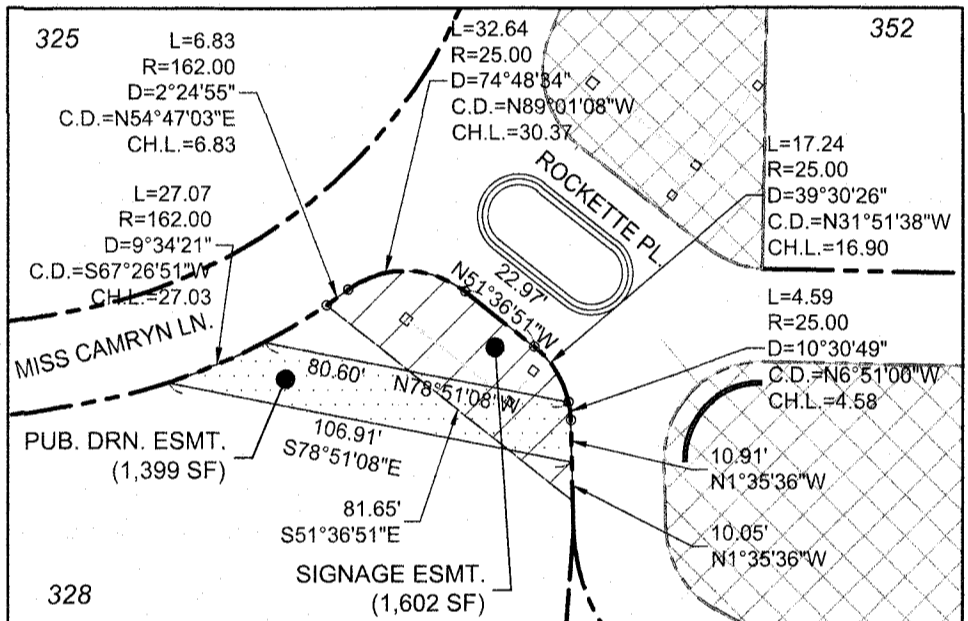
THE INGRESS/EGRESS EASEMENT IS BEING DEDICATED FOR THE USE OF THE THREE (3) INDIVIDUAL LOT OWNERS TO PROVIDE OWNERS OF LOTS 365, 366 & 367 WITH COMMON ACCESS TO EACH LOT. THE INGRESS/EGRESS EASEMENT SHALL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.

THE POND EASEMENT IS LOCATED ON LOTS 367 & 368. IT IS BEING DEDICATED AND RESERVED FOR STORMWATER DETENTION FOR THE DEVELOPMENT. THE POND EASEMENT SHALL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.

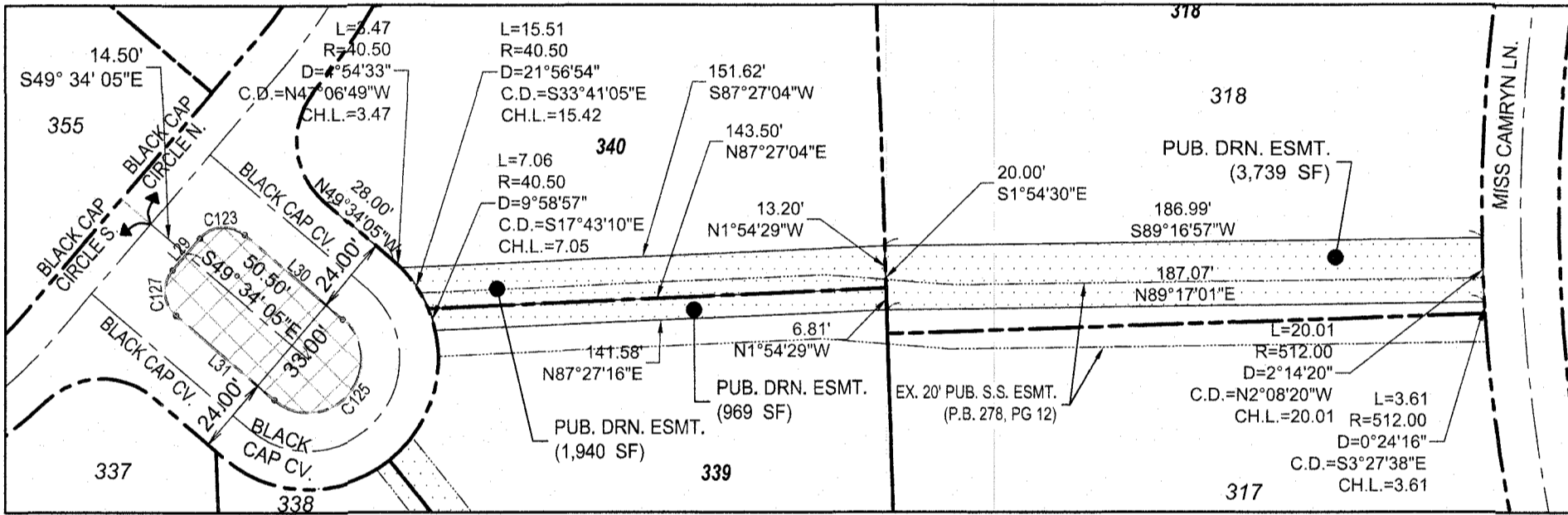


DETAIL "F"
SCALE 1" = 50'

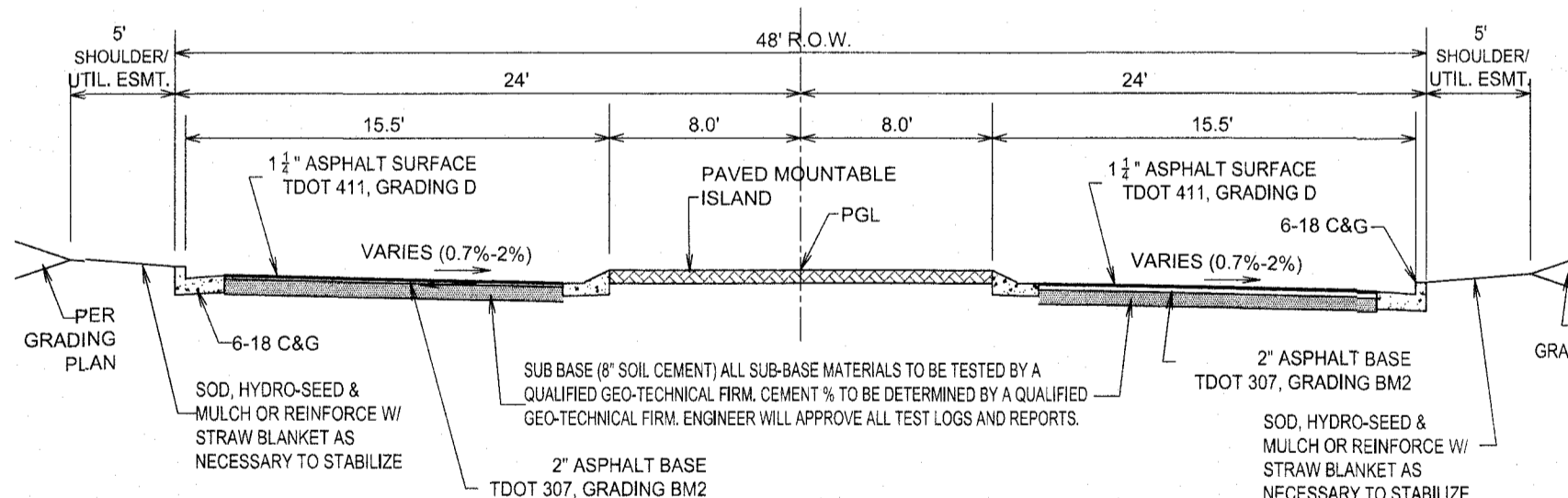
DETAIL "C"
SCALE 1" = 60'



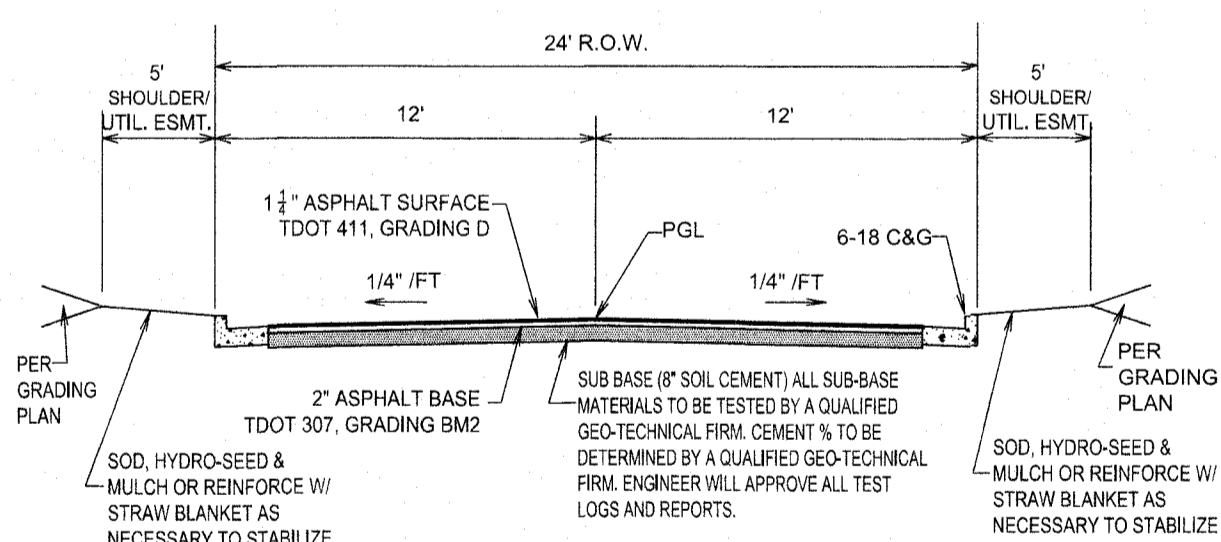
DETAIL "A"
SCALE 1" = 40'



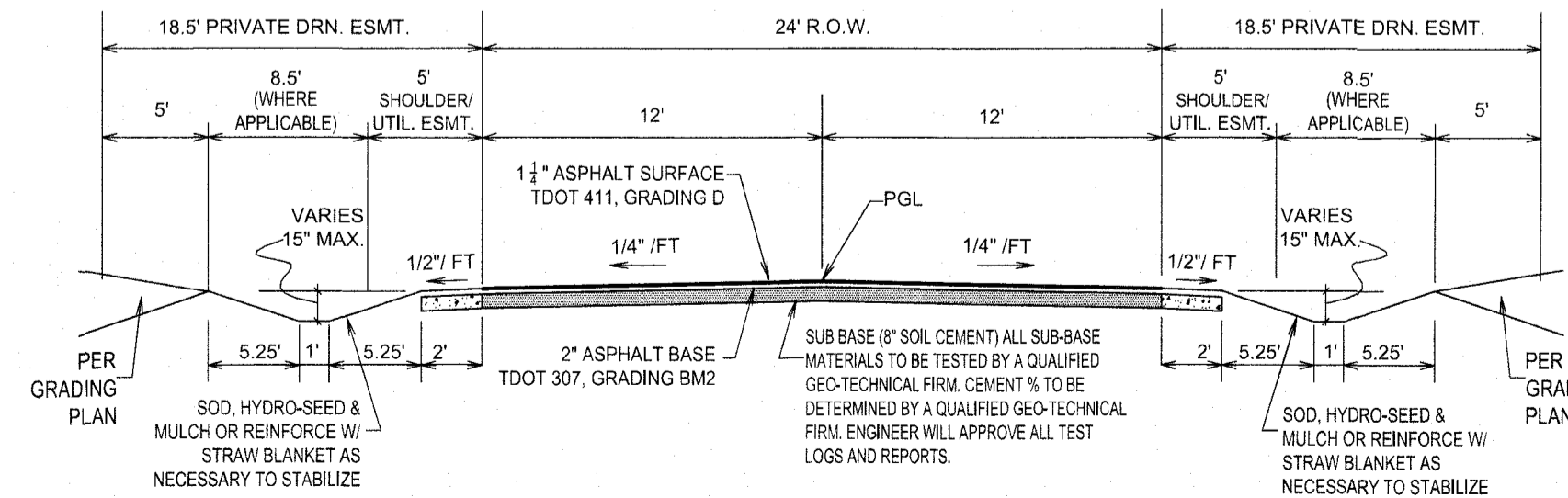
DETAIL "B"
SCALE 1" = 50'



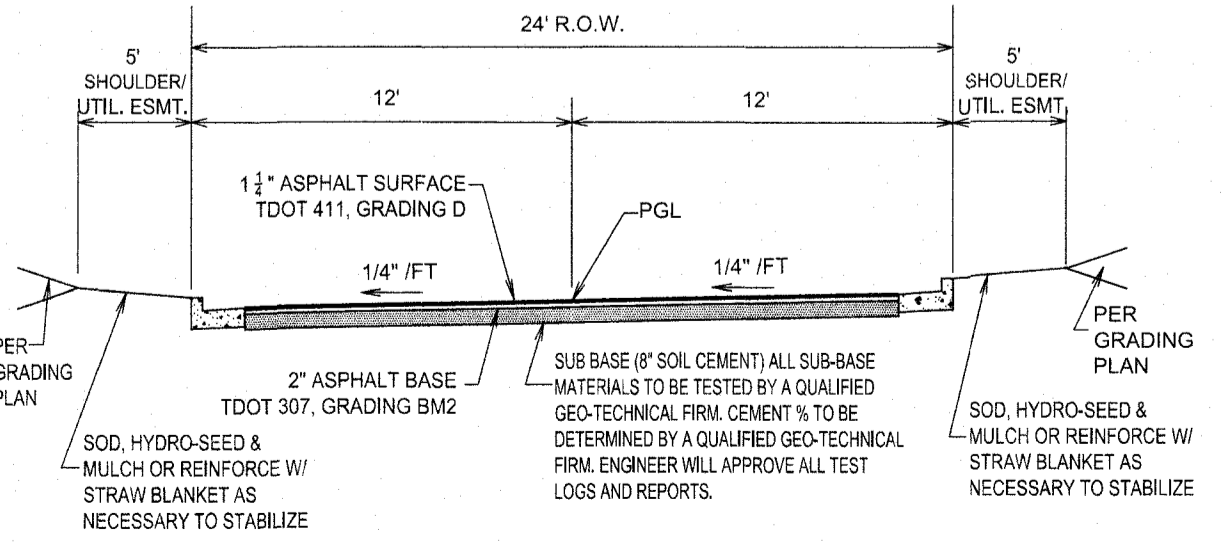
TYPICAL STREET SECTION
(ROCKETTE PL.)
N.T.S.



TYPICAL STREET SECTION
(BLACKCAP CIRCLE N. & BLACKCAP CIRCLE S.)
N.T.S.



TYPICAL STREET SECTION
(MISS CAMRYN LN.)
N.T.S.



TYPICAL STREET SECTION
(BLACKCAP CV.)
N.T.S.

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BK 305 PG 13
Willie F. Brooks Jr
REGISTER OF DEEDS SHELBY COUNTY TENNESSEE

FINAL PLAT SPRING CREEK RANCH PLANNED DEVELOPMENT PHASE 12

CASE# P.D. 13-314 CO FORMER CASE# P.D. 99-306 CO
AREA D-1, PART OF AREA E, AND AREA F
SHELBY COUNTY, TENNESSEE
MARCH 2024

TOTAL AREA: 76.11 ACRES (3,315,333 S.F.)
TOTAL 56 LOTS, 4 C.O.S. & 5 PRIVATE DRIVES
DIST. 2 BLK. 23 PARCEL 28

PREPARED FOR:
SCR BRAVO INVESTMENTS, L.L.C.
5900 POPLAR AVE.
MEMPHIS, TN. 38119



9180 Crestwyn Hills Drive | Memphis, Tennessee 38125-8538
901.748.1811 | Fax: 901.748.3115 | www.fisherarnold.com

OUTLINE PLAN CONDITIONS

Spring Creek Ranch Planned Development, 1st Amendment
P.D. 13-314 CO

I. Uses and Bulk Regulations:

A. Area "A" (57.7 acres)

1. Area A-1 (Approximately 34.69 Acres): A maximum of 73 lots for single-family detached units, open space, and walking trails.
 - a. Area A shall be regulated by the R-6 District unless specified below.
 1. Minimum Residential Lot Size 6,400 sq. ft. (Typical Lot 60' x 120').
 2. Front Yard Setback - 25 feet.
 - b. All lots in Area A-1 shall have frontage on a Private Drive with a minimum width of 31 feet. Direct access to Collierville-Arlington from any residential lot shall be prohibited. The right of access shall be conveyed to Shelby County.
 - c. The minimum width of any service drive shall be 20 feet.
 2. Area A-2 (Approximately 10.33 Acres): Single Family Residential as governed by the R-15 District with a maximum of 4 lots.
 3. Area A-3 (Approximately 12.68 acres): Single Family Residential as governed by the R-15 District, with a maximum of 13 lots and uses that are accessory to a Golf Course/Club House.
- B. Area "B" (67.5 acres) A maximum 172 single family detached dwelling units.
- C. Area "C" (56.7 acres) Common Open Space; Horse & Stable Uses
- D. Area "D" (106.24 acres) A maximum of 208 single family detached dwelling units.
- E. Area "D1" (12.96 acres) A maximum of 28 single family detached dwelling units. The front yard building setback shall be 15' and a minimum rear setback of 20' and a side yard setback of 5' and a minimum lot size of 10,000 square feet.
- F. Area "E" (31.0 acres) A maximum of 32 single family detached dwelling units. The front yard setback is 30', a minimum rear setback of 20' and a side setback of 5' and a minimum lot size of 10,000 square feet.
- G. Area "F" (60.3 acres) A maximum of 28 single family detached dwelling units.
- H. Area "G" (16.2 acres) A maximum of 21 single family and zero lot line dwelling units. A minimum of 10 units shall be free standing and 11 may be zero lot line grouping with no more than 4 units with a common fire wall. This does not require grouping but only allows grouping, if feasible.
- I. Passive recreation and environmental education uses allowed in all areas.

II. Access and Circulation:

- A. Dedicate Collierville-Arlington 34 feet from the centerline and improve to rural cross-section in accordance with Subdivision Regulations and Shelby County Paving Policy.
- B. Dedicate Raleigh-LaGrange 42 feet from the centerline and improve in accordance with Subdivision Regulations. A new alignment will be required.
- C. Drives within areas A, B, C, D, E, and F shall be private and shall provide access to Collierville-Arlington Road, Raleigh-LaGrange Road and other areas of the Planned Development.
- D. Access to area "G" shall be provided from Collierville-Arlington Road by way of a private drive through the golf course or from Monterey Road.

E. Direct access by individual (residential) lots to Collierville-Arlington Road and Raleigh-LaGrange Road is prohibited, except for lots in Area A-2 as per approved by Land Use Control Board per case No. 99-306CO on December 11, 2003.

F. Private drive widths shall be a minimum of 22 feet wide except for one way traffic which may be 14'-0" minimum and shall be governed by the County Fire Department unless modified elsewhere in these conditions.

G. The setback, queuing, requirements for gates, guardhouses, or other vehicle control devices shall be as required by Section 4.4.8 of the UDC, except as follows:

1. The gates in Area A-2 shall be set back a minimum of 50 feet from the existing edge of pavement of Collierville-Arlington Road.
2. The gate in Area A-1 shall be set back a minimum of 13 feet from the existing edge of pavement of Collierville-Arlington Road.

III. Drainage and Sanitary Sewer:

- A. Drainage improvements including possible on-site detention to be provided under contract in accordance with Subdivision Regulations, and the County Engineer's office.
- B. Any development within Area "G" cannot tie on to the Town of Collierville's sanitary sewer system, but must be served by an alternate sewer treatment system.

IV. The Land Use Control Board may modify the bulk, access, parking, landscaping, loading, screening, signage, and other site requirements if equivalent alternatives are presented; provided, however, any adjacent property owner who is dissatisfied with the modifications of the Land Use Control Board hereunder may, within ten days of such action, file a written appeal to the Director of Office of Planning and Development, to have such action reviewed by the appropriate governing bodies.

V. Landscaping and Screening:

- A. A 50 foot landscape buffer shall be provided along Collierville-Arlington Road and Raleigh-LaGrange Road.
- B. If reverse frontage is proposed along Collierville-Arlington Road or Raleigh-LaGrange Road, a detailed plan for the reverse landscape screen shall be submitted with any application for site plan review by the Land Use Control in accordance with Condition IX.
- C. Additional streetscape and open space landscaping shall be illustrated on all final plans subject to site plan review by the Land Use Control Board in accordance with Condition VIII.
- D. Equivalent landscaping may be substituted subject to site plan review by the Land Use Control Board.
- E. All required landscaping and screening shall not conflict with any easements including overhead wires.
- F. Buffer areas between the sub-sections of Area A shall be delineated and may at the direction of the OPD require supplemental planting.
- G. Landscaping shall be added along the entryway and entry drive of Area A-2 to limit the view of the building, drive aisle and parking area from the direct view of the Collierville-Arlington.

VI. Signs:

- A. Signs shall be permitted in accordance with the R-S District.
- B. Portable and temporary signs shall be prohibited.
- C. All signs shall be setback a minimum of 15 feet from the right-of-way.
- D. Area A-2 and A-3: One detached sign, limited to a maximum of 12 square feet in area and six feet in height shall be permitted.
- E. Signs for any area or phase of this P.D. shall comply with Unified Development Code.

VII. Site Plan Review:

- A. A site plan shall be submitted for the review, comment and recommendation of the Office of Planning and Development (OPD) and appropriate City and County agencies.

B. The site plan shall include the following information:

1. The location, and dimensions of all buildable areas, signs and parking areas.
2. The layout of all public streets, private drives and the dimensions and area of all lots.
3. Specific plans for internal and perimeter landscaping and screening including landscaping of all open space features.
4. Illustrations of the design and materials of any proposed signs.

C. The site plan shall be reviewed based upon the following criteria:

1. Adequacy of facilities and conformance to the Subdivision Regulations.
2. Design and location of any open space features relative to the type and location of residential units.
3. Conformance with the outline plan conditions.
4. Compatibility with adjacent properties as judged from the final elements of site development including landscaping, screening and architectural design.

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Willie F. Brooks Jr
REGISTER OF DEEDS SHELBY COUNTY TENNESSEE

**FINAL PLAT
SPRING CREEK RANCH
PLANNED DEVELOPMENT
PHASE 12**

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PROPERTY / HOMEOWNERS ASSOCIATION

All common open spaces / private streets and facilities noted on the Final Plat shall be owned and maintained by the GRAND MANOR RESIDENTIAL OWNERS ASSOCIATION, INC whose establishment, ownership and maintenance responsibilities are recorded under Instrument No. 10029948 at the Shelby County Register's office as may have been amended, and which is a District of the SPRING CREEK RESIDENTIAL OWNER'S ASSOCIATION, INC, whose establishment, ownership and maintenance responsibilities are recorded under Instrument No. 10029947 at the Shelby County Register's office as may have been amended.

OWNER'S CERTIFICATE

We, SCR BRAVO INVESTMENTS, L.L.C., the undersigned owner of the property shown hereon, hereby adopt this plat as our plan of development and dedicate the streets, rights-of-way, and grant the easements as shown and/or described to the public use forever. We certify that we are the owner of the said property in fee simple, duly authorized to act, and that the said property is not encumbered by any taxes or mortgages which have become due and payable.

By Matt Hayden
MATT HAYDEN
TREASURER

State of Tennessee
County of Shelby

Before me, the undersigned, a Notary Public in and for the said state and county at Memphis, duly commissioned and qualified, personally appeared MATT HAYDEN, with whom I am personally acquainted, and who upon his oath acknowledged himself to be TREASURER of the SCR BRAVO INVESTMENTS, L.L.C., the within named bargainer, and that he executed the foregoing instrument for the purpose therein contained. In witness whereof, I have hereunto set my hand and affixed my notarial seal at my office in Memphis, this 17th day of APRIL, 2022/2024

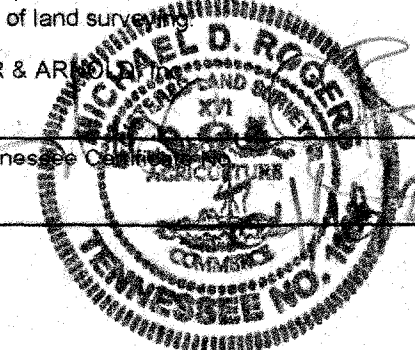
Notary Public Kelly O. McMillan
My commission expires 10-25-26



SURVEYOR'S CERTIFICATE

It is hereby certified that this is a Category "1" Survey and that the ratio of precision of the unadjusted survey is 1:10,000 or greater; that this plat has been prepared by me or under my individual supervision and conforms with applicable state laws and Memphis and Shelby County Unified Development Code, and the specific conditions imposed on this development relating to the practice of land surveying.

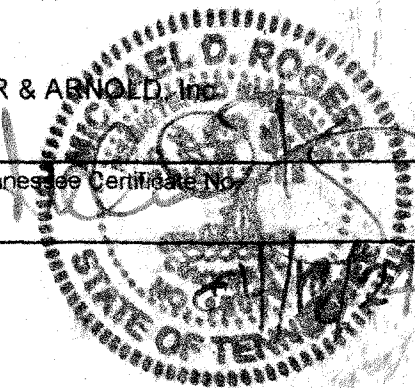
FISHER & ARNOLD, Inc.
By [Signature]
Tennessee Certificate No. [Number]
Date [Date]



ENGINEER'S CERTIFICATE

It is hereby certified that this plat is true and correct, is in conformance with the design requirements of the Memphis and Shelby County Unified Development Code, and the specific conditions imposed on this development, and takes into account all applicable Federal, State, and Local Building Laws and Regulations.

FISHER & ARNOLD, Inc.
By [Signature]
Tennessee Certificate No. [Number]
Date [Date]



OFFICE OF PLANNING AND DEVELOPMENT CERTIFICATE

This final plat conforms with the Outline Plan acted on by the Land Use Control Board on June 13, 2013 and approved by the Shelby County Commission on September 9, 2013 with further revisions approved by the Land Use Control Board via Major Modification Application on 02/11/21 (Case # MJR 10029948-CO).

By [Signature] Date 05/06/2024
Director, Office of Planning and Development
OPD NBS 04/26/24 County Engineer Dennis J. Sanders, P.E. 4/19/24

PROPERTY / HOMEOWNERS ASSOCIATION

All common open spaces features / private facilities shall be owned and maintained by THE SPRING CREEK RANCH RESIDENTIAL OWNERS ASSOCIATION, INC, whose establishment, ownership, and maintenance responsibilities area recorded under Instrument 06138831 at the Shelby County Register's office.

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